

COMFORT INN POOL ADDITION AND BRAND CONVERSION

2211 Northumberland County Rd 28 Route
Port Hope, ON L1A 3V6

CLIENT: DANNY BAWA
10158 JANE STREET
MAPLE, ON L6A 3K1
Cell: 416-831-2190

**DEVELOPMENT
CONSULTANTS:** 1464 Cornwall Rd. Unit 7
OAKVILLE, ONTARIO, L6J 7W5
Phone: 905 337 7249
www.apidevelopmentconsultants.com

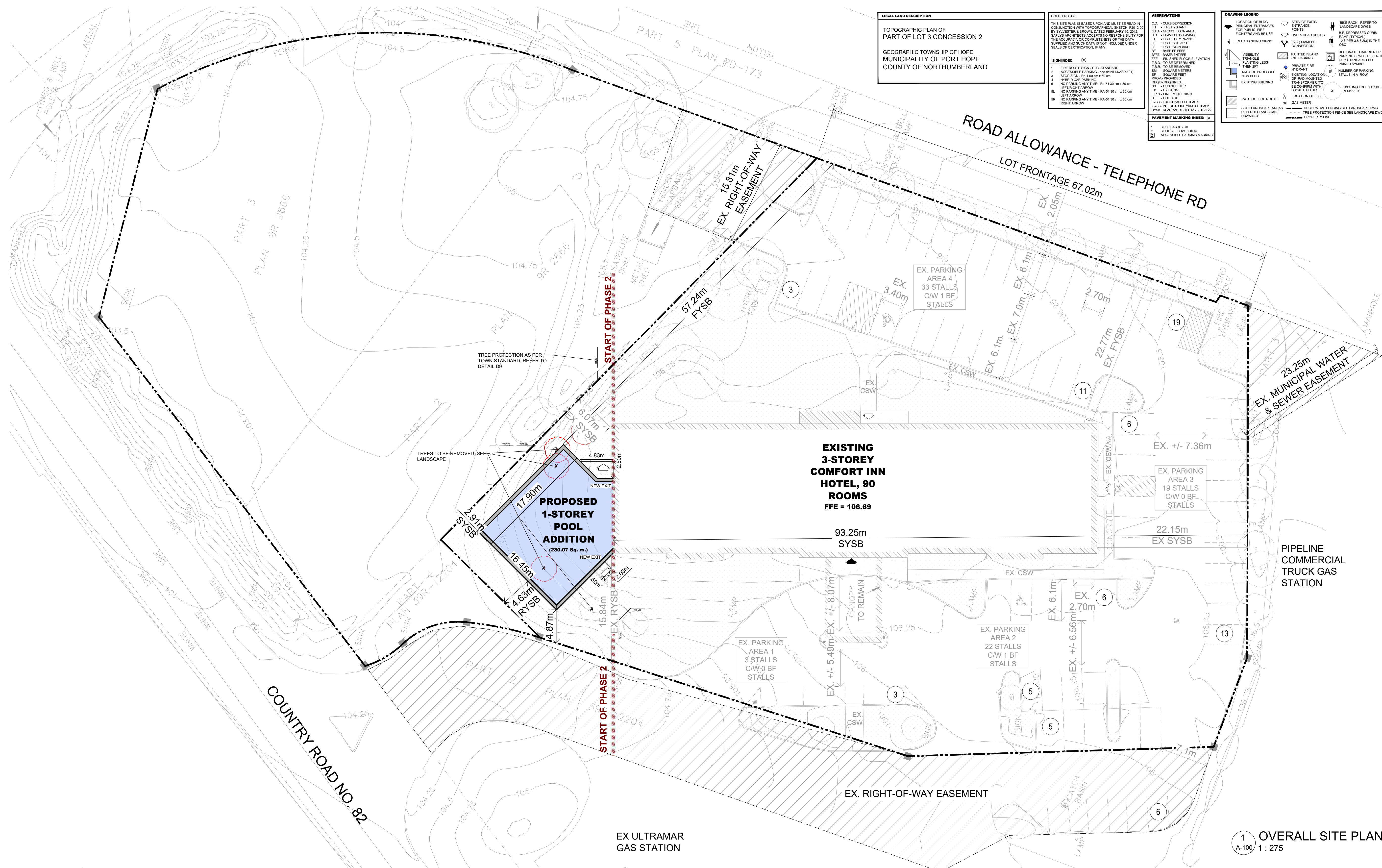
ARCHITECT: Saplys Architects Inc.
1464 Cornwall Rd. Unit 8
OAKVILLE, ONTARIO, L6J 7W5
Phone: 905 337 7249



ISSUED FOR SITE PLAN SUBMISSION FEBRUARY 3rd, 2025

DRAWING LIST:

A100	SITE PLAN
A201	GROUND FLOOR PLAN
A201A	ENLARGED PLAN - GROUND FLOOR - EXTENSION
A202	SECOND & THIRD FLOOR PLANS
A301	EXISTING BUILDING ELEVATION - SOUTH & NORTH
A302	EXISTING BUILDING ELEVATION - EAST & WEST
A303	ADDITION ELEVATIONS



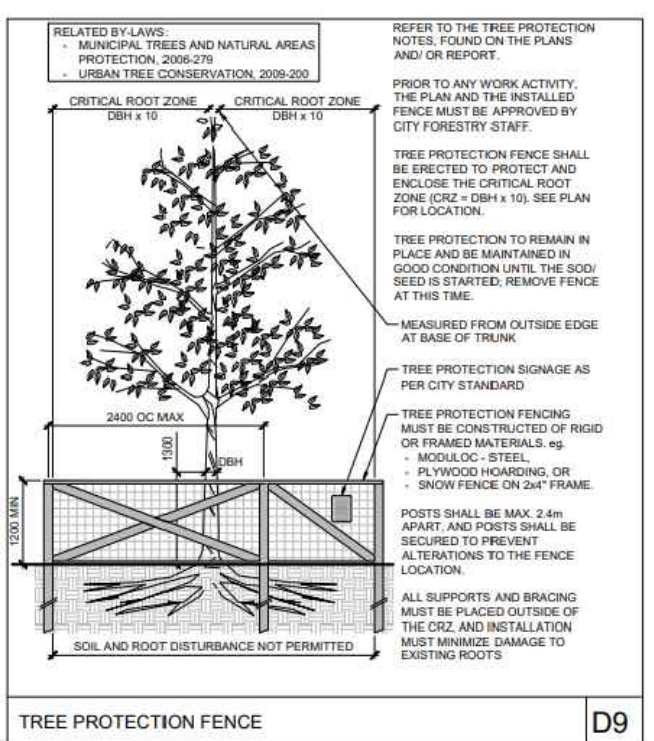
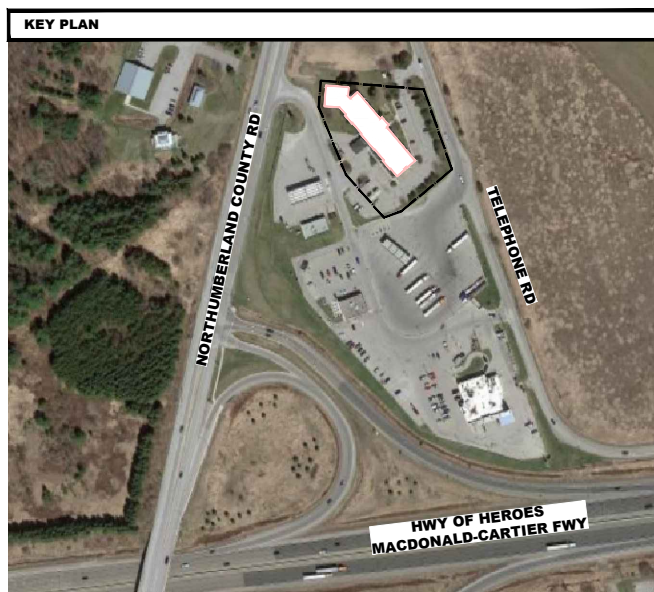
LEGAL LAND DESCRIPTION
 TOPOGRAPHIC PLAN OF
 PART OF LOT 3 CONCESSION 2
 GEOGRAPHIC TOWNSHIP OF HOPE
 MUNICIPALITY OF PORT HOPE
 COUNTY OF NORTHUMBERLAND

CREATED NOTES
 THIS SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE TOPOGRAPHICAL SKETCH P2012-02-01 BY GUY LESTER & BROWN DATED FEBRUARY 14, 2012. SAPI'S ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER REALS OF CERTIFICATION IF ANY.

SIGN INDEX (S)
 1 FIRE ROUTE SIGN - CITY STANDARD
 2 ACCESSIBLE PARKING - 999 (MSP-1011)
 3 STOP SIGN - R4 - 60 cm x 60 cm
 4 HYDRANT PARKING
 5 NO PARKING ANY TIME - R4-51 30 cm x 30 cm LEFT ARROW
 6 NO PARKING ANY TIME - R4-51 30 cm x 30 cm RIGHT ARROW

ABBREVIATIONS
 C.S. - CURB SIDE
 H.I. - FIRE HYDRANT
 L.D. - LANDSCAPE DESIGN
 L.H. - LIGHT BOLLARD
 L.L. - LIGHT BOLLARD
 L.S. - LIGHT SIGN
 L.T. - LIGHT TOWER
 M.F. - METAL SHEED
 P.F. - FINISHED FLOOR ELEVATION
 T.B. - TO BE DETERMINED
 T.R. - TO BE REMOVED
 S.M. - SQUARE METERS
 S.F. - SQUARE FEET
 P.R. - PROPOSED
 R.C. - REQUIRED
 R.D. - REQUIRED
 R.S. - REAR SIDE
 R.T. - REAR TYPICAL
 R.Y. - REAR YARD
 R.Z. - REAR ZONE
 S.B. - SIDE BOLLARD
 S.C. - SIDE CURB
 S.F. - SIDE FENCE
 S.H. - SIDE HYDRANT
 S.M. - SIDE METAL SHEED
 S.S. - SIDE SIGN
 S.T. - SIDE TYPICAL
 S.W. - SIDE WALL
 S.Y. - SIDE YARD
 S.Z. - SIDE ZONE

PAVEMENT MARKING INDEX: (P)
 1 STOP BAR 0.30 m
 2 SOLID YELLOW 0.18 m
 3 ACCESSIBLE PARKING MARKING



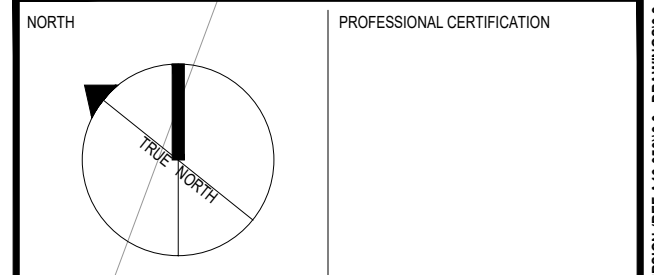
ISSUE	BY	DESCRIPTION	DATE
1	RMS	SITE PLAN AMENDMENT	25-02-11

GENERAL NOTES
 DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
 1464 Cornwall Drive, UNITE 7
 OAKVILLE, ON. L6J 7W4
 P: 905.337.7249
 Project Coordinator: Darius Saplys
 E: dsaplys@apiconsultants.net

ARCHITECT:
 1464 Cornwall Drive, UNITE 8
 OAKVILLE, ON. L6J 7W5
 P: 905.337.7249
 E: linsaplys@aol.com

OWNER AND MANAGER:
 CONTACT: DANNY BAWA
 BAWA GROUP CANADA
 10158 JANE STREET, MAPLE ON. L6A 3K1
 P: 416-831-2190
 E: danny@bawagroup.ca



PROJECT NAME:
 PORT HOPE - ADAPTIVE REDEVELOPMENT TO HAMPTON INN

PROJECT ADDRESS:
 ROUTE 2211 COUNTY ROAD 28, PORT HOPE, ON L1A 3V6

DRAWING TITLE:
 SITE PLAN

BY: RMS (Checked) DB (Issued For)
PROJECT NO.: S24-024
SCALE: 1:200
DATE: 25-02-11

SHEET NO.: A-100
SHEET REVISION:

UNIT TYPE	SUITE MIX				MIX %	Total Mix	MIX %	TOTAL SUITES
	1	2	3	T				
KING ROOM	5	10	5	20	22.2%	27	30.0%	20
KING SUITE WITH KITCHEN	2	2	3	7	7.8%	7		7
DOUBLE QUEEN ROOM	19	20	24	63	70.0%	63	70.0%	63
TOTAL PER FLOOR	26	32	32	90	100.0%	90	100%	90

SITE STATISTICS				
	SM	SF	ACRES	%
TOTAL SITE AREA	12,765.0	137,401,739	3.154	100%
Part 4 - Plan 39R 12204	201,843.6	2,172,626.4	0.050	#VALUE!
Part 2 - Plan 9R 2666	2660,893.9	28,641,623.9	0.658	21%
Part 1 - Plan 39R 12204 (Subject Lot)	2844,269	28,462,567	0.653	17%
LANDSCAPING SOFT LANDSCAPING	1,980.1	21,421	0.462	27.4%
ASPHALT	3,233.7	34,808	0.799	44.6%
MSC (CURBING & WALKWAYS)	229.8	2,473	0.057	3.2%
GROUND FLOOR AREA (LOT COVERAGE)	1,580.1	17,115	0.393	21.9%
NEW	280.1	3,014.9		
EXISTING	1,310.0	14,100.7		
EX. SECOND FLOOR	1,284.5	13,934		
EX. THIRD FLOOR	1,284.5	13,934		
NEW GROSS FLOOR AREA	4,179.0	44,983	1.033	0.676

PARKING CALCULATION Table 5.2 Non-Res Parking Requirements				
HOTEL				
1 space per room				
ANY OTHER NON RESIDENTIAL USED NOT SPECIFIED IN THE TABLE - 1 SPACE / 25 SM OF GFA				
	RMS / SM	PER	RATIO	TOTAL
HOTEL	90	1.0	1	90
TOTAL PARKING REQUIRED		90.0	=	90
TOTAL PARKING PROVIDED (EXISTING)				
	REG	BF	MTO	TOTAL
TOTAL PARKING PROVIDED	69	2.0	0	71

*ASSUMPTION THAT THERE IS A SHARED PARKING OFFSITE

ZONING INFORMATION - PORT HOPE ZONING BY LAW PART 7 COM. ZONES			
ZONE	HOTEL	COMPLY	
COM2		YES	
TABLE 10.3	7.2 ZONE STANDARDS	PROV. (SM/M)	
MIN. LOT AREA	3700 SM	7346.9	YES
MIN. LOT FRONTAGE	60 m	EXIST. 66.2	YES
MIN. FRONT YARD	3 m	EXIST. 26.1	YES
MIN. EXTERIOR SIDE YARD	7.5 m	N/A	YES
MIN. INTERIOR SIDE YARD	0 m	2.70	YES
MIN. REAR YARD	0 m	3.5	YES
HOTEL MAX BUILDING HEIGHT (Est. Grade - Highest Parapet or Highest Mid point of Peak)	11 m	EXIST. 10.725	YES

NOTE:
 THE ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION PURPOSES ONLY. DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO BE CONSTRUCTED UNTIL VERIFIED BY THE OWNER AND/OR CONSTRUCTOR. CONSTRUCTION IS TO BE REVIEWED & APPROVED ELEVATOR SHOP DRAWINGS. ANY RESULTING COSTS DUE TO CONSTRUCTION WITHOUT REVIEWED & APPROVED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONSTRUCTOR.



NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
1	SM	SP SUBMISSION	25-02-19

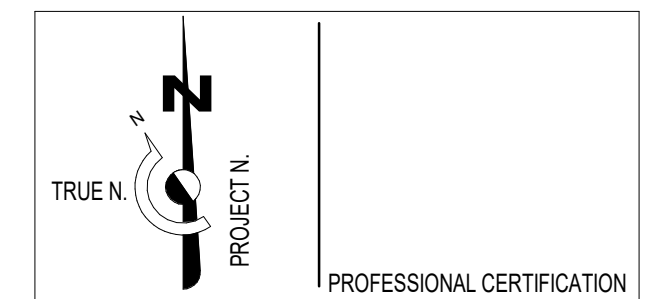
ISSUANCE SCHEDULE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
 API CONSULTANTS INC.
 1484 CORNWALL ROAD, UNIT 7
 OAKVILLE, ONTARIO L6J 7W5
 P: 905.337.7249

ARCHITECT:
 SAPIUS ARCHITECTS INC.
 1484 CORNWALL ROAD, UNIT 8
 OAKVILLE, ONTARIO L6J 7W5
 P: 905.337.7249

CLIENT:
 DANNY BAWA
 10155 JANE STREET,
 MAPLE, ON L6A 3K1



PROJECT
COMFORT INN
CONVERSION TO CITY
EXPRESS & POOL
ADDITION
 2211 Northumberland County Rd 28 Route
 Port Hope, ON L1A 3V6

DRAWING TITLE
GROUND FLOOR PLAN

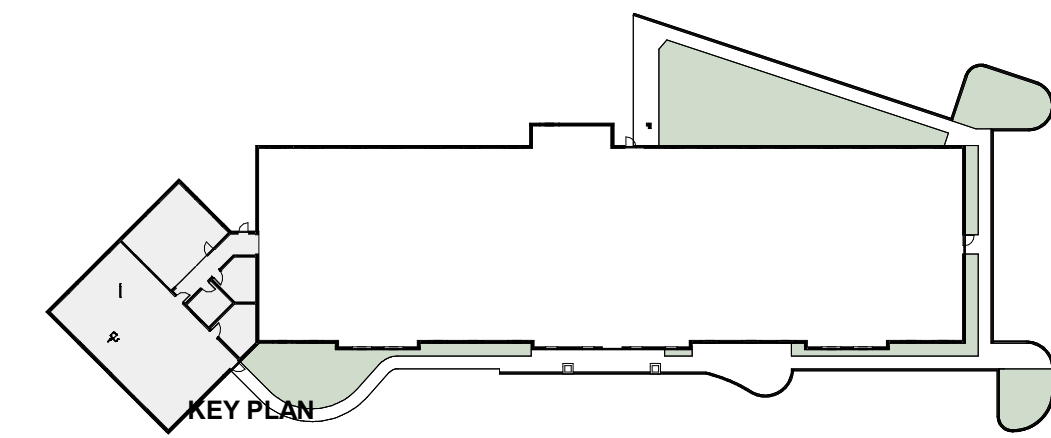
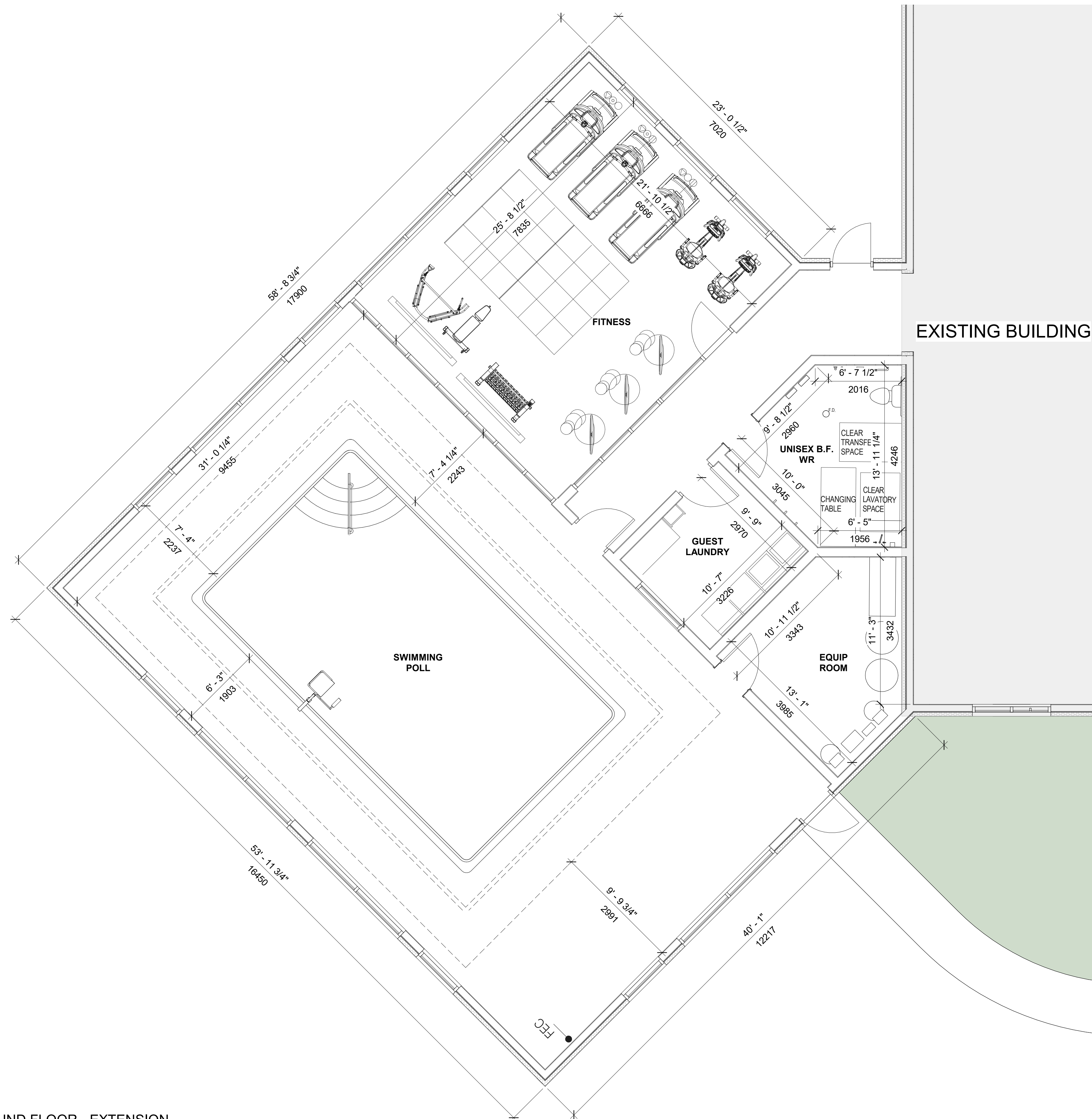
BY: MR | CHECK: ISMT | ISSUED FOR: SP SUBMISSION
 PROJECT NO.: 24-024 | SHEET NO.:
 SCALE: As indicated
 ISSUE DATE: 25-02-19

A201 | 1
 SHEET
 ISSUE No.

1 T/O GROUND FLOOR
 A201 3/32" = 1'-0"

UNIT TYPE	No. OF FLOORS			T	MIX %	Total Mix	Mix %	TOTAL SUITES
	1	2	3					
KING ROOM	5	10	5	20	22.2%	27	30.0%	20
KING SUITE WITH KITCHEN	2	2	3	7	7.8%			7
DOUBLE QUEEN ROOM	19	20	24	63	70.0%	63	70.0%	63
TOTAL PER FLOOR	26	32	32	90	100.0%	90	100%	90

PLOT DATE: 2025-02-21 9:22:05 AM



FIRE RATING LEGEND

	1 HR FIRE RESISTANCE RATING
	2 HR FIRE RESISTANCE RATING

ALL LOAD BEARING STRUCTURAL STEEL MEMBERS TO BE ENCLOSED IN 2 HOUR FIRE RATED ASSEMBLY FIRE RATING GRAPHIC NOT SHOWN FOR EXTERIOR WALLS FOR CLARITY. REFER TO WALL ASSEMBLIES.

FLOOR PLAN LEGEND

NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
1	SM T	SP SUBMISSION	25-02-19

ISSUANCE SCHEDULE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

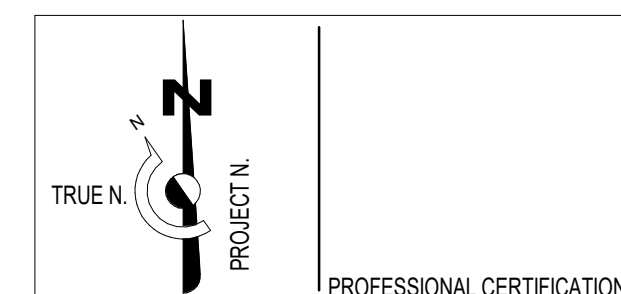
DEVELOPMENT CONSULTANT:
 API CONSULTANTS INC.
 1484 CORNWALL ROAD, UNIT 7
 OAKVILLE, ONTARIO L6J 7W5
 P: 905.337.7249



ARCHITECT:
 SAPLYS ARCHITECTS INC.
 1484 CORNWALL ROAD, UNIT 8
 OAKVILLE, ONTARIO L6J 7W5
 P: 905.337.7249



CLIENT:
 DANNY BAWA
 10158 JANE STREET,
 MAPLE, ON L6A 3K1



PROJECT
**COMFORT INN
 CONVERSION TO CITY
 EXPRESS & POOL
 ADDITION**
 2211 Northumberland County Rd 28 Route
 Port Hope, ON L1A 3V6

DRAWING TITLE
**ENLARGED PLAN
 GROUND FLOOR**

BY: MR SMT | CHECK: SMT | ISSUED FOR: SP SUBMISSION
 PROJECT NO.: 24-024 | SHEET NO.:
 SCALE: As indicated
 ISSUE DATE: 25-02-19

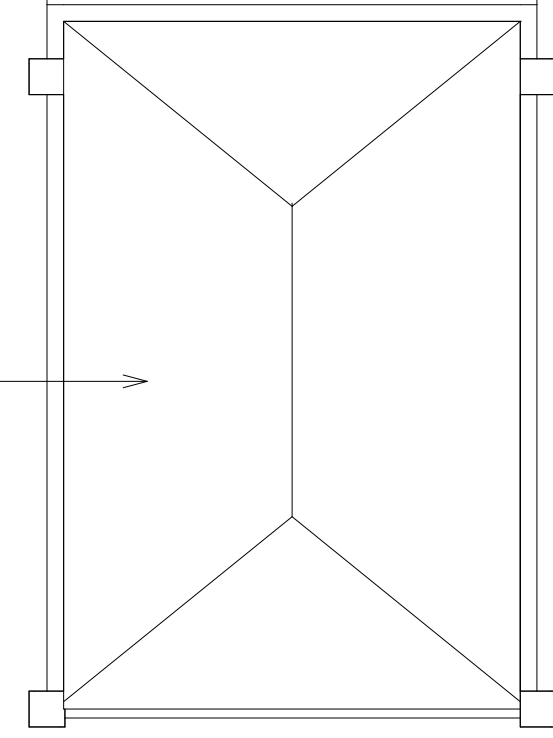
A201A | 1 SHEET ISSUE No.

1 T/O GROUND FLOOR - EXTENSION
 A201A 1/4" = 1'-0"



1 EXISTING 2ND FLOOR
A202 3/32" = 1'-0"

EXISTING PORTE COCHERE



UNIT TYPE	No. OF FLOORS			T	MIX %	Total Mix	Mix %	TOTAL SUITES
	1	2	3					
KING ROOM	5	10	5	20	22.2%	27	30.0%	20
KING SUITE WITH KITCHEN	2	2	3	7	7.8%			7
DOUBLE QUEEN ROOM	19	20	24	63	70.0%	63	70.0%	63
TOTAL PER FLOOR	26	32	32	90	100.0%	90	100%	90



2 EXISTING THIRD FLOOR PLAN
A202 3/32" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
1	SM T	SP SUBMISSION	25-02-19

ISSUANCE SCHEDULE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

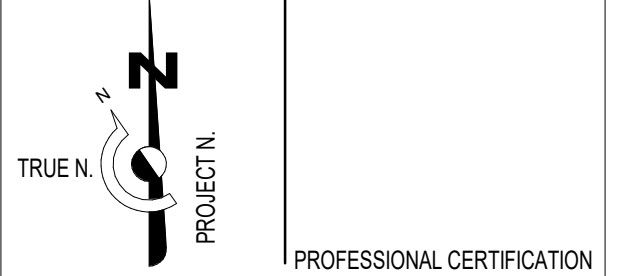
DEVELOPMENT CONSULTANT:
API CONSULTANTS INC.
1484 CORNWALL ROAD, UNIT 7
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249



ARCHITECT:
SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249



CLIENT:
DANNY BAWA
10158 JANE STREET,
MAPLE, ON L6A 3K1



PROJECT
**COMFORT INN
CONVERSION TO CITY
EXPRESS & POOL
ADDITION**
2211 Northumberland County Rd 28 Route
Port Hope, ON L1A 3V6

DRAWING TITLE
**SECOND & THIRD
FLOOR PLANS**

BY: MR SMT | CHECK: SMT | ISSUED FOR: SP SUBMISSION
PROJECT NO.: 24-024 | SHEET NO.:
SCALE: 3/32" = 1'-0"
ISSUE DATE: 25-02-19

A202 1
SHEET
ISSUE No.

PLOT DATE: 2025-02-21 9:27:38 AM

EXTERIOR ELEVATION LEGEND

- 100 EIFS - DURABOND MARBLE COAT FINISH - DRY DOCK - SHERWIN WILLIAMS SW 7502
- 101 EIFS - DURABOND MARBLE COAT FINISH - SNOWBOUND - SHERWIN WILLIAMS SW 7004
- 102 EIFS - DURABOND MARBLE COAT FINISH - AURIC - SHERWIN WILLIAMS SW 6692
- 103 EIFS - DURABOND MARBLE COAT FINISH - SALTY DOG - SHERWIN WILLIAMS SW 9177
- 104 PAINT OVER EXISTING BRICK - DRY DOCK - SHERWIN WILLIAMS SW 7502
- 105 PAINT OVER EXISTING BRICK - SNOWBOUND - SHERWIN WILLIAMS SW 7004
- 106 PAINT OVER EXISTING BRICK - AURIC - SHERWIN WILLIAMS SW 6692
- 107 PAINT OVER EXISTING BRICK - SALTY DOG - SHERWIN WILLIAMS SW 9177
- 108 PAINT OVER EXISTING BRICK - STEELY GRAY - SHERWIN WILLIAMS SW 7664
- 111 BUILDING METAL CUTOUT SIGNAGE- GENERAL CONTRACTOR TO PROVIDE BLOCKING BACKING TO SIGNAGE, ANCHOR BACK TO STRUCTURE



1 NORTH ELEVATION
A301 3/32" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
1	SM	SP SUBMISSION	25-02-19

ISSUANCE SCHEDULE

No.	By	Description	Date
1	SM	SP SUBMISSION	25-02-19

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:

API CONSULTANTS INC.
1484 CORNWALL ROAD, UNIT 7
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249

ARCHITECT:

SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249

CLIENT:

DANNY BAWA
10155 JANE STREET,
MAPLE, ON L6A 3K1

PROFESSIONAL CERTIFICATION

PROJECT
**COMFORT INN
CONVERSION TO CITY
EXPRESS & POOL
ADDITION**

2211 Northumberland County Rd 28 Route
Port Hope, ON L1A 3V6

DRAWING TITLE
**EXISTING ELEVATIONS
- SOUTH & NORTH**

BY	CHECK	ISSUED FOR
MR	SMT	SP SUBMISSION
PROJECT NO.:	SHEET NO.:	
24-024	1	
SCALE:	A301	
3/32" = 1'-0"	1	
ISSUE DATE:	SHEET	
25-02-19	ISSUE No.	

© SAPLYS ARCHITECTS INC.



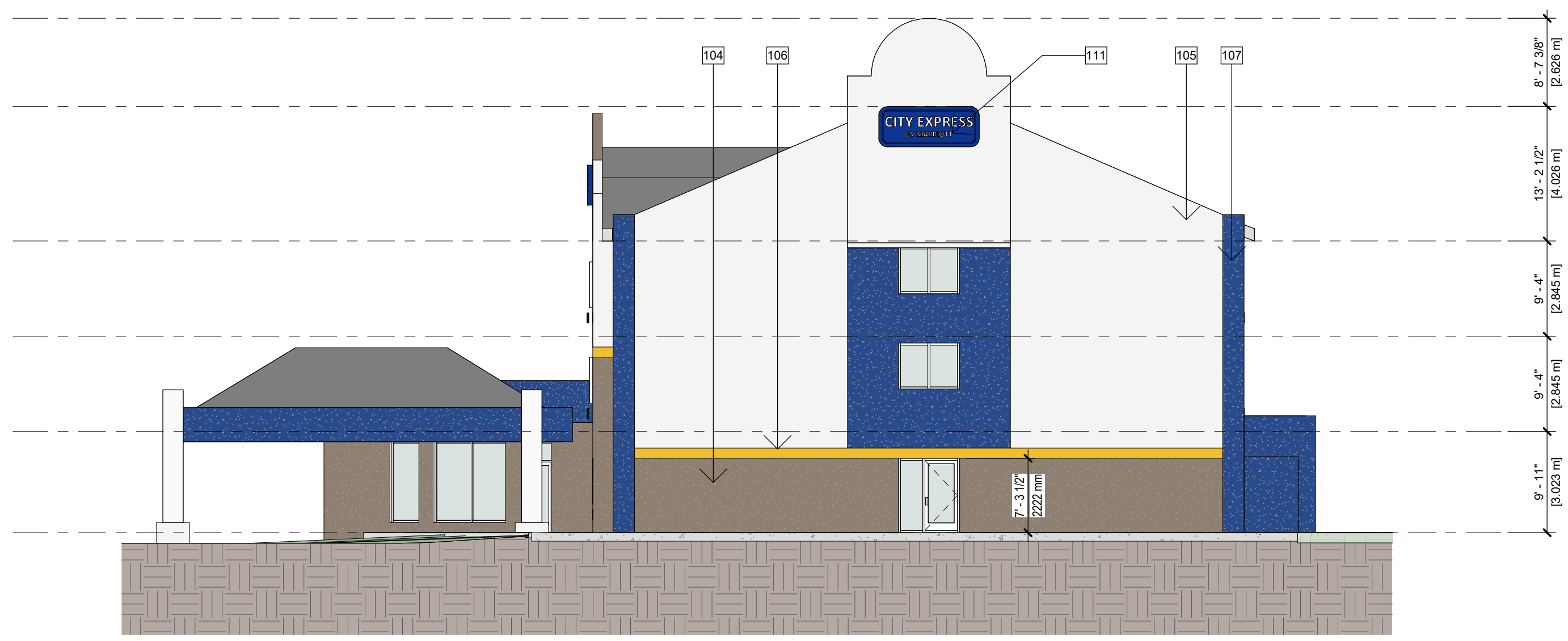
2 SOUTH ELEVATION
A301 3/32" = 1'-0"

PLOT DATE: 2025-02-21 9:29:12 AM

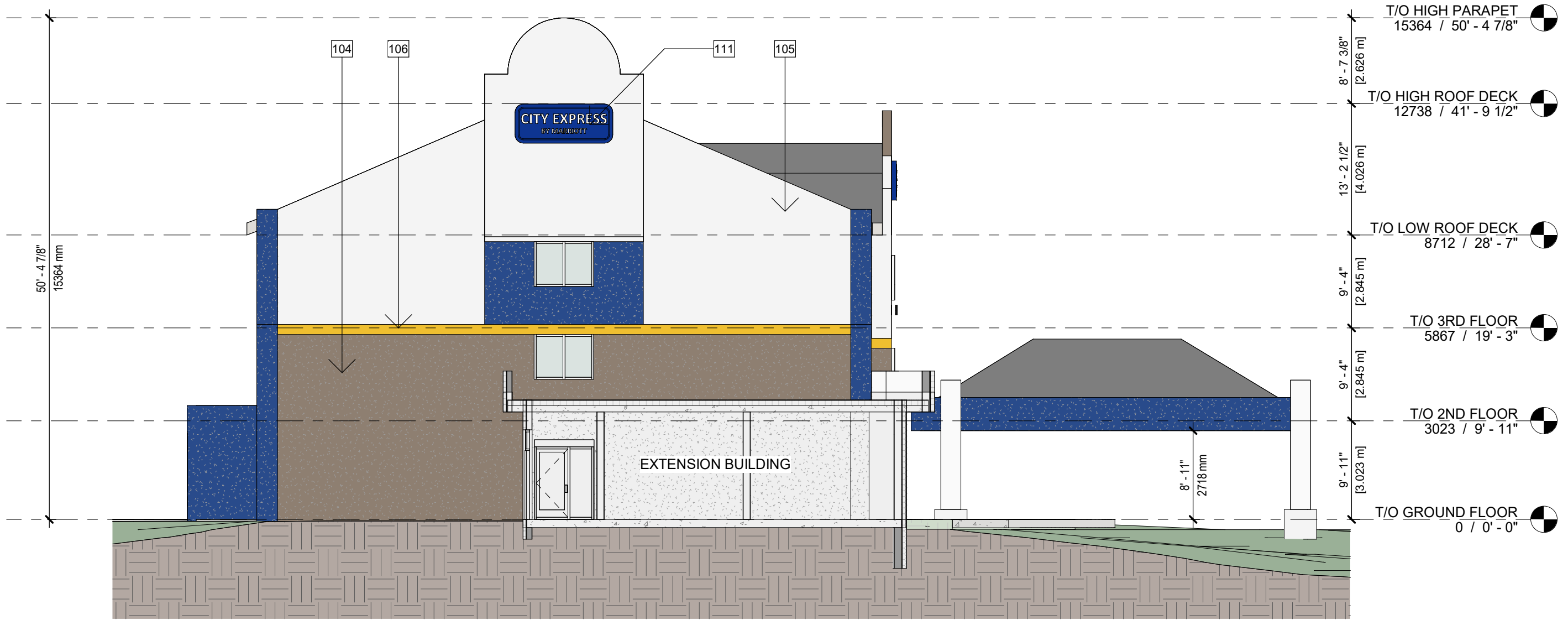
EXTERIOR ELEVATION LEGEND

- 100 EIFS - DURABOND MARBLE COAT FINISH - DRY DOCK - SHERWIN WILLIAMS SW 7502
- 101 EIFS - DURABOND MARBLE COAT FINISH - SNOWBOUND - SHERWIN WILLIAMS SW 7004
- 102 EIFS - DURABOND MARBLE COAT FINISH - AURIC - SHERWIN WILLIAMS SW 6692
- 103 EIFS - DURABOND MARBLE COAT FINISH - SALTY DOG - SHERWIN WILLIAMS SW 9177
- 104 PAINT OVER EXISTING BRICK - DRY DOCK - SHERWIN WILLIAMS SW 7502
- 105 PAINT OVER EXISTING BRICK - SNOWBOUND - SHERWIN WILLIAMS SW 7004
- 106 PAINT OVER EXISTING BRICK - AURIC - SHERWIN WILLIAMS SW 6692
- 107 PAINT OVER EXISTING BRICK - SALTY DOG - SHERWIN WILLIAMS SW 9177
- 108 PAINT OVER EXISTING BRICK - STEELY GRAY - SHERWIN WILLIAMS SW 7664
- 111 BUILDING METAL CUTOUT SIGNAGE- GENERAL CONTRACTOR TO PROVIDE BLOCKING BACKING TO SIGNAGE, ANCHOR BACK TO STRUCTURE

NOT ISSUED FOR CONSTRUCTION



1 EAST ELEVATION
A302 3/32" = 1'-0"



2 WEST ELEVATION
A302 3/32" = 1'-0"

No.	By	Description	Date
1	SMT	SP SUBMISSION	25-02-19

ISSUANCE SCHEDULE			

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
API CONSULTANTS INC.
1484 CORNWALL ROAD, UNIT 7
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249



ARCHITECT:
SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249



CLIENT:
DANNY BAWA
10158 JANE STREET,
MAPLE, ON L6A 3K1

PROFESSIONAL CERTIFICATION

PROJECT
COMFORT INN
CONVERSION TO CITY
EXPRESS & POOL
ADDITION
2211 Northumberland County Rd 28 Route
Port Hope, ON L1A 3V6

DRAWING TITLE
EXISTING ELEVATIONS
- EAST & WEST

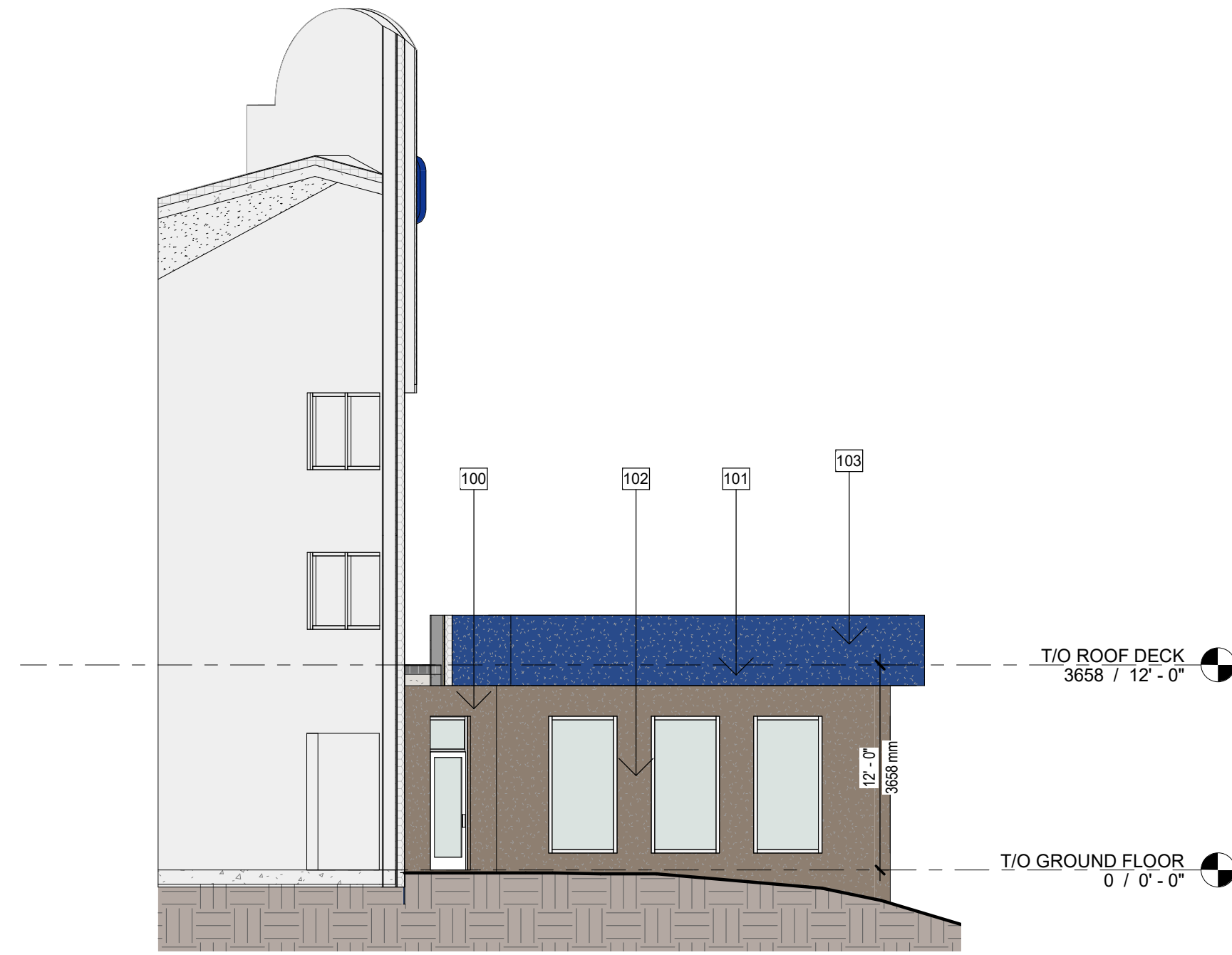
BY	CHECK	ISSUED FOR
MR SMT		SP SUBMISSION
PROJECT NO:	SHEET NO:	
24-024	1	
SCALE:	3/32" = 1'-0"	
ISSUE DATE:	25-02-19	

A302 | 1 SHEET
ISSUE No.

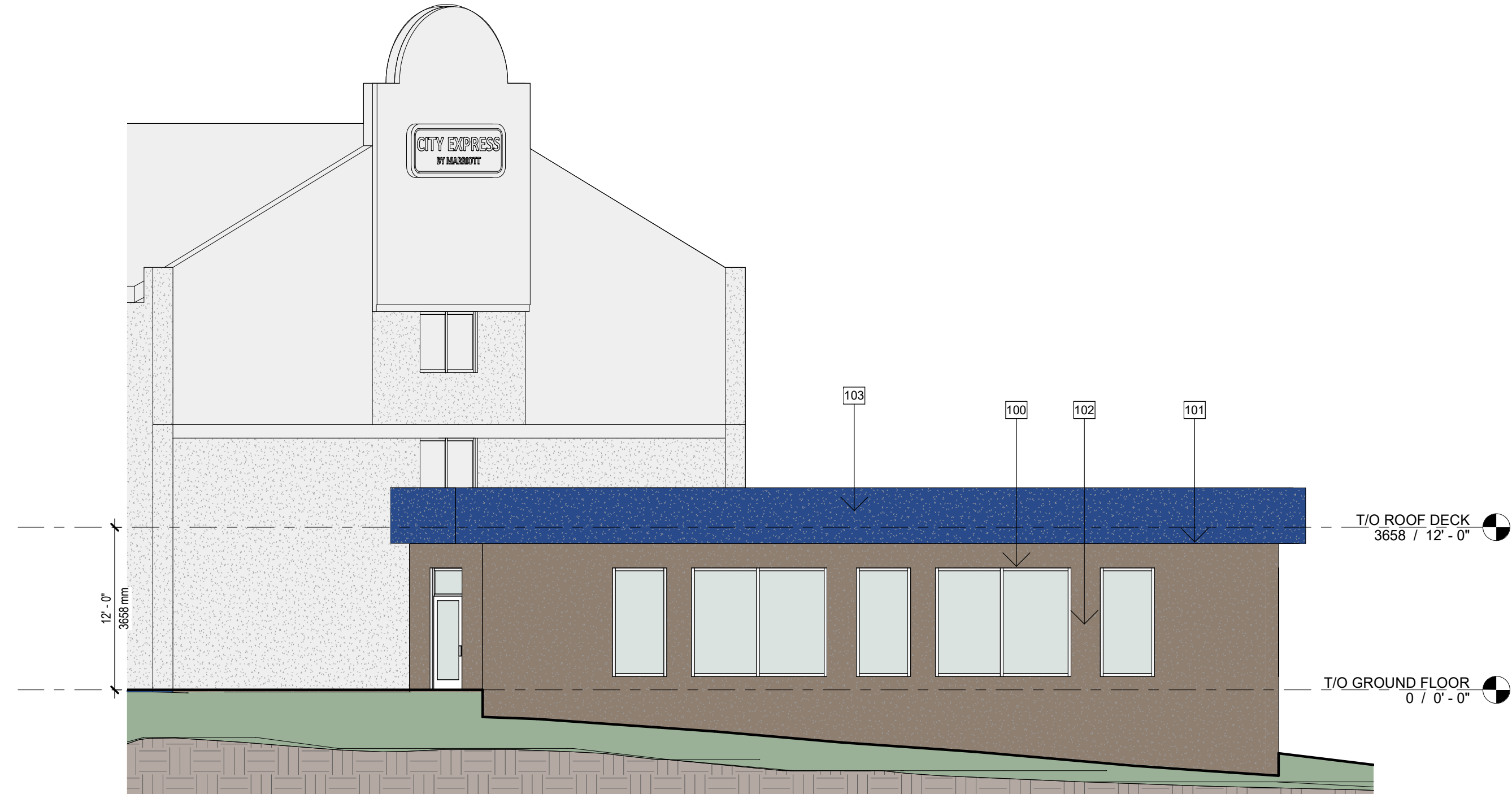
PLOT DATE: 2025-02-21 9:30:55 AM

EXTERIOR ELEVATION LEGEND

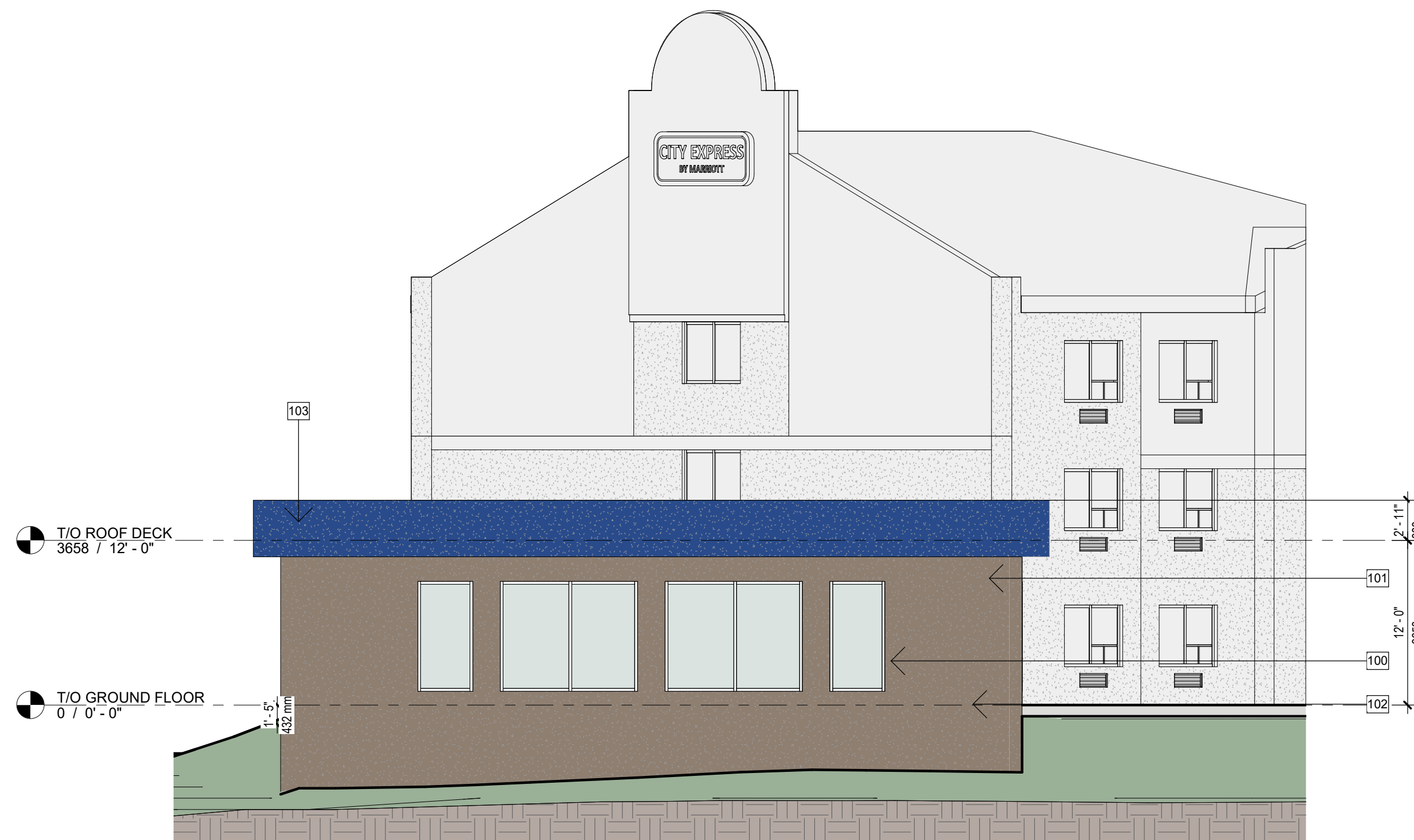
- 100 EIFS - DURABOND MARBLE COAT FINISH - DRY DOCK - SHERWIN WILLIAMS SW 7502
- 101 EIFS - DURABOND MARBLE COAT FINISH - SNOWBOUND - SHERWIN WILLIAMS SW 7004
- 102 EIFS - DURABOND MARBLE COAT FINISH - AURIC - SHERWIN WILLIAMS SW 6692
- 103 EIFS - DURABOND MARBLE COAT FINISH - SALTY DOG - SHERWIN WILLIAMS SW 9177
- 104 PAINT OVER EXISTING BRICK - DRY DOCK - SHERWIN WILLIAMS SW 7502
- 105 PAINT OVER EXISTING BRICK - SNOWBOUND - SHERWIN WILLIAMS SW 7004
- 106 PAINT OVER EXISTING BRICK - AURIC - SHERWIN WILLIAMS SW 6692
- 107 PAINT OVER EXISTING BRICK - SALTY DOG - SHERWIN WILLIAMS SW 9177
- 108 PAINT OVER EXISTING BRICK - STEELY GRAY - SHERWIN WILLIAMS SW 7664
- 111 BUILDING METAL CUTOUT SIGNAGE- GENERAL CONTRACTOR TO PROVIDE BLOCKING BACKING TO SIGNAGE, ANCHOR BACK TO STRUCTURE



1 EXTENSION - EAST
A303 1/8" = 1'-0"



2 EXTENSION - NORTH
A303 1/8" = 1'-0"



4 EXTENSION - WEST
A303 1/8" = 1'-0"



3 EXTENSION - SOUTH
A303 1/8" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
1	SM	SP SUBMISSION	25-02-19

ISSUANCE SCHEDULE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
API CONSULTANTS INC.
1484 CORNWALL ROAD, UNIT 7
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249



ARCHITECT:
SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J7W5
P: 905.337.7249



CLIENT:
DANNY BAWA
10158 JANE STREET,
MAPLE, ON L6A 3K1

PROJECT
**COMFORT INN
CONVERSION TO CITY
EXPRESS & POOL
ADDITION**
2211 Northumberland County Rd 28 Route
Port Hope, ON L1A 3V6

DRAWING TITLE
**NEW ADDITION
ELEVATIONS**

BY: MR | CHECK: SMT | ISSUED FOR: SP SUBMISSION
PROJECT NO.: 24-024 | SHEET NO.: 1
SCALE: 1/8" = 1'-0"
ISSUE DATE: 25-02-19

A303 1 SHEET ISSUE No.